

Twenty

Gresham Street

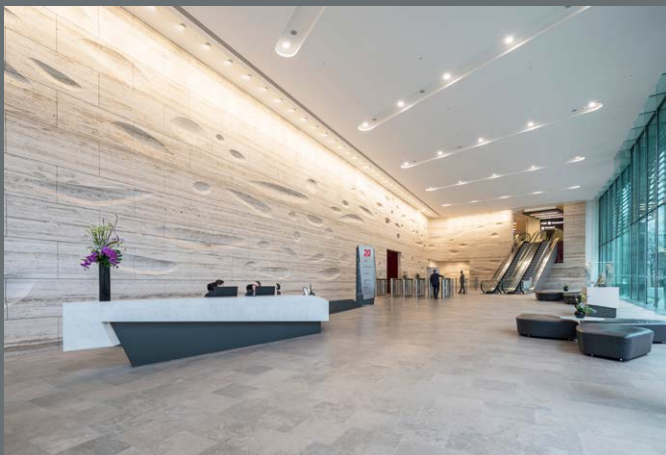
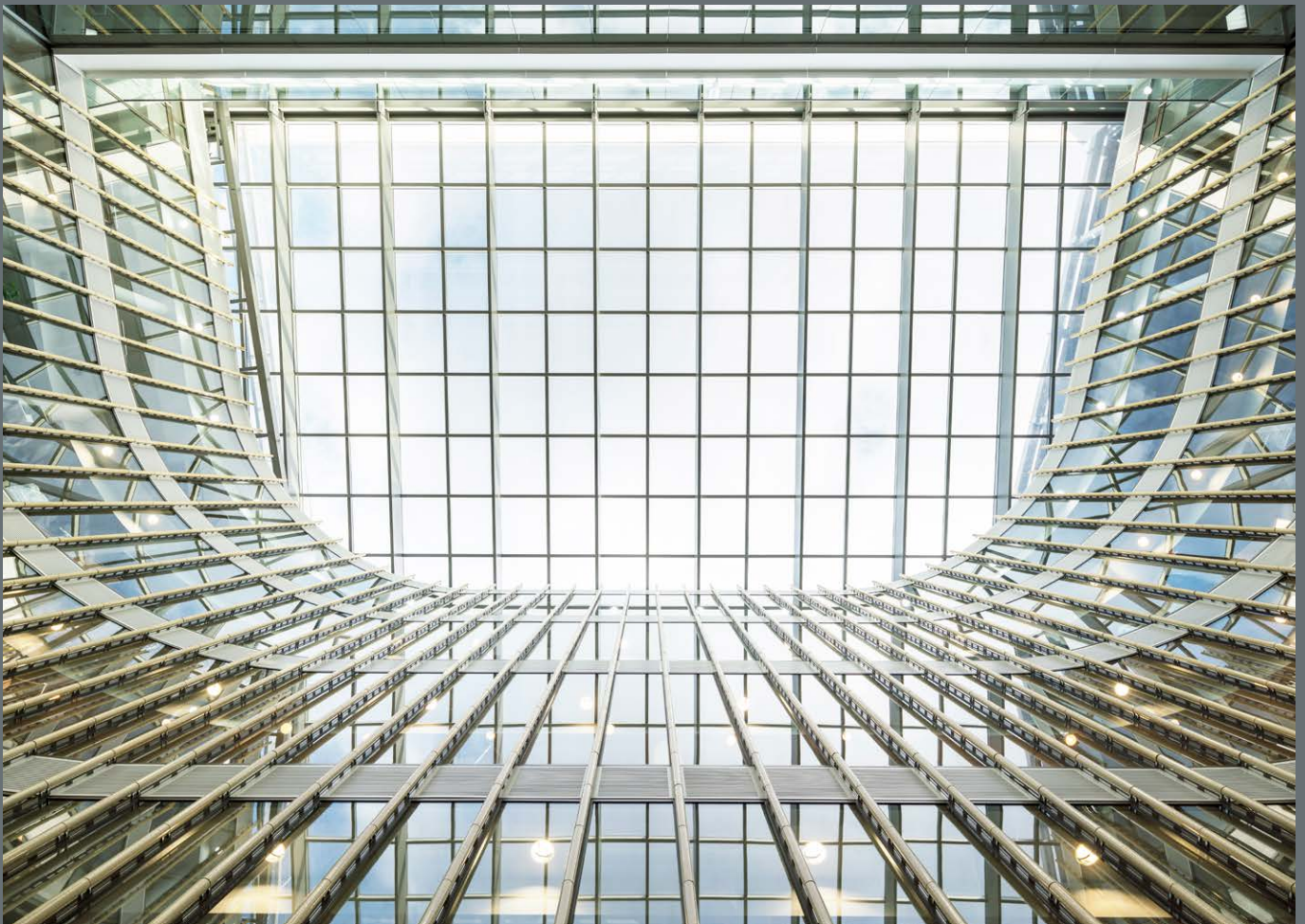
13,829 sq ft
Grade A offices to let



A STRIKING FIRST IMPRESSION

20 Gresham Street is a prominent office building designed by KPF Architects in the heart of the City of London.

The building was completed in 2008 and provides exceptional quality space, including an imposing double height reception area which extends to over 5,000 sq ft.



Communal Restaurant and Atrium Base

PART 3RD FLOOR

- Available area
- Let area
- Communal areas

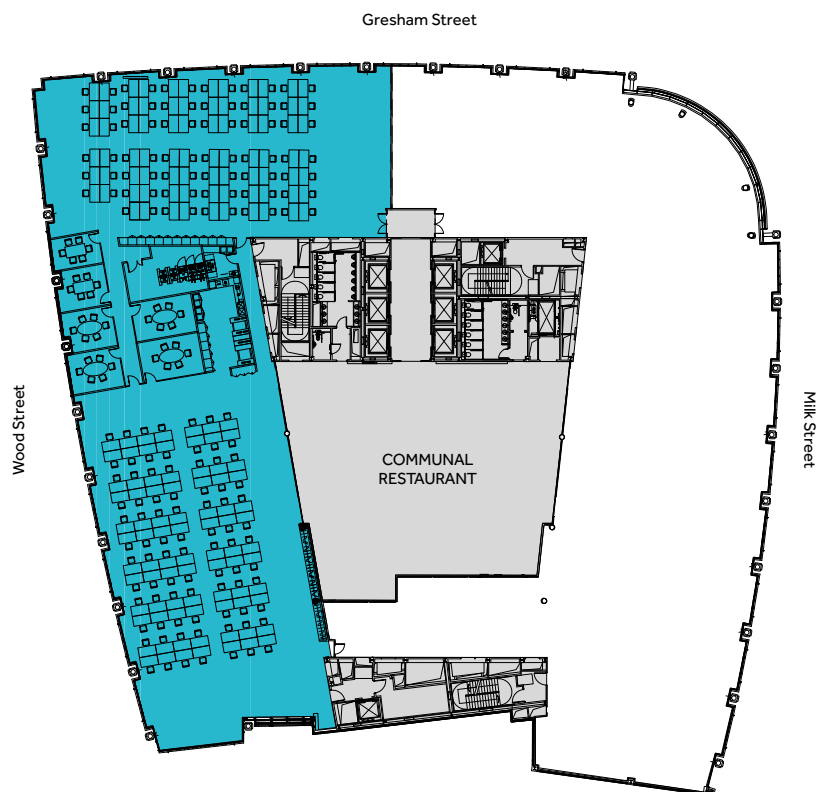
FLOOR PLAN

13,829 SQ FT (1,285 SQ M)



EXISTING FIT OUT

13,829 SQ FT (1,285 SQ M)



Workstations	166
6 person meeting rooms	6
Kitchen	1
Occupancy Total	166

BUILDING SPECIFICATION



ENVIRONMENTAL

BREEAM Rating: Excellent
EPC Rating: B

OCCUPANCY LEVEL

10 sq m / person of net internal area

RAISED FLOOR

150 mm

FLOOR TO CEILING HEIGHT

2.75 m

OFFICE FLOORS

Fully accessible raised modular floor system
Metal tile access ceiling (750x750 grid)

PLANNING GRID

1.5 m

LIGHTING

Recessed luminaires designed around the requirements of LG7 based on lighting level of 400 lux

AIR CONDITIONING

Provided by 2 and 4 pipe ceiling mounted fan coil units

POWER

2 Incoming EDF 11kV supplies each rated at 100% of the building load

2 Dual fed LV switchboards, each fed by two 11,000/400-Volt transformers

The building's power is supported by 3 x 2,000 kVA and 1 x 500 kVA generators providing N+1 resilience

LIFTS

6 x Passenger lifts x 21 persons (1,600 kg). Speed 1.6 m/s

2 x Fire Fighter lifts x 8 person (630 kg) Speed 1.6 m/s

1 x Goods lift x 33 person (2,500 kg) serving all areas

1 x Goods lift x 33 person (2,500 kg) goods shuttle lift serving basement and ground floor

DESIGN PARAMETERS

External design conditions
Summer: 29°C db / 21°C wb
Winter: -4°C saturated

Electrical

Lighting: 12 W/m²

Small power: office: 25 W/m²

Additional capacity in riser switch gear: 10 W/m²

OTHER FEATURES

Showers, lockers and changing rooms

Cycle racks

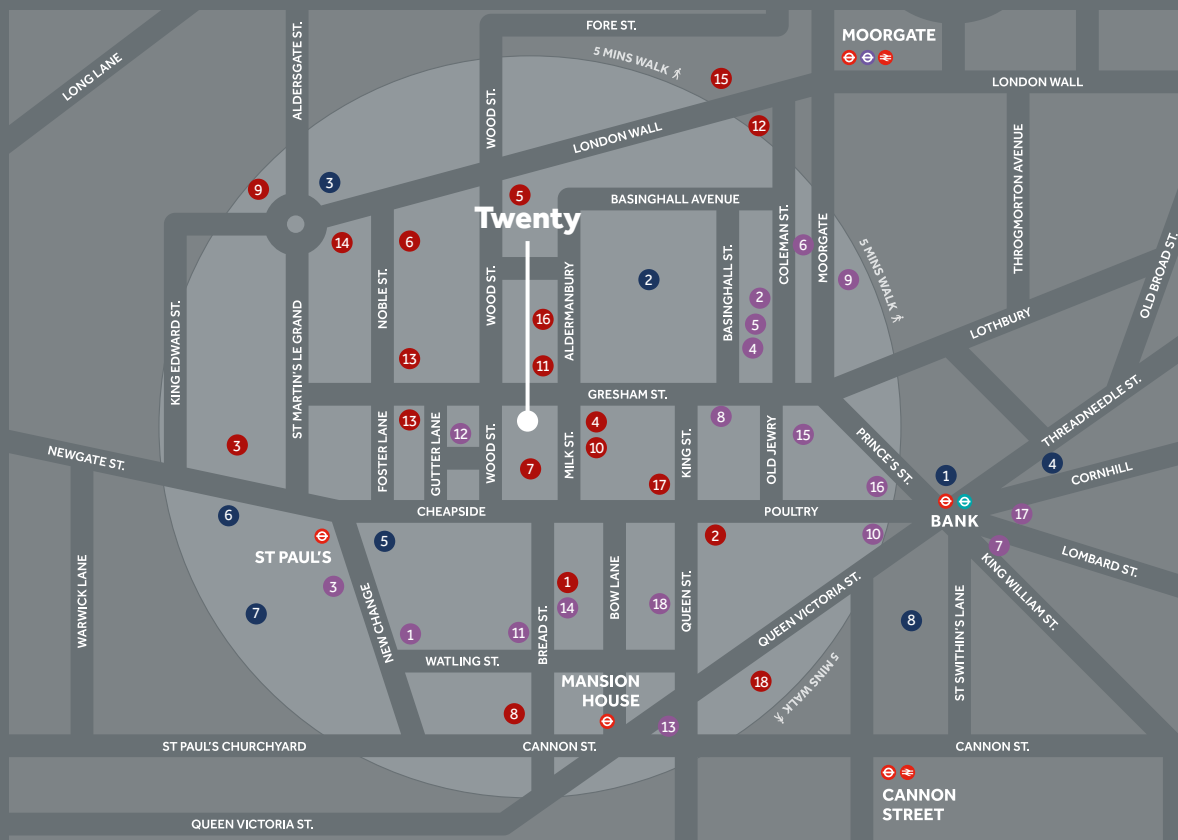
Disabled parking

LARGE, EFFICIENT & VIRTUALLY COLUMN FREE

PART 3RD FLOOR

The available Grade A accommodation comprises of 13,829 sq ft of plug & play office space.





LOCAL OCCUPIERS

- 1 Aberdeen Asset Management
- 2 Banca Intesa
- 3 BT
- 4 Commerzbank
- 5 Davis Polk & Wardwell
- 6 DLA Piper
- 7 Eversheds
- 8 Fidelity Investments
- 9 FTI
- 10 Investec
- 11 Capita
- 12 Legal & General
- 13 Lloyd's Banking Group
- 14 Osborne Clarke
- 15 Schroders
- 16 Debevoise and Plimpton
- 17 Goodwin Procter
- 18 Bloomberg

RESTAURANTS, CAFÉS & BARS

- 1 The Ivy Asia
- 2 Corney and Barrow Mason's Avenue
- 3 Dion
- 4 Enoteca de Luca
- 5 Hawksmoor
- 6 The Gable
- 7 Number 1 Lombard Street
- 8 The Anthologist
- 9 The Tokenhouse
- 10 Coq d'Argent
- 11 Bread Street Kitchen
- 12 Manicomio
- 13 Sweetings
- 14 Burger & Lobster
- 15 Goodman
- 16 The Ned
- 17 Fortum & Mason
- 18 Core Bar

LANDMARKS, LEISURE & RETAIL

- 1 Bank of England
- 2 Guildhall
- 3 Museum of London
- 4 The Royal Exchange
- 5 One New Change
- 6 London Stock Exchange
- 7 St Paul's Cathedral
- 8 St Stephen Wallbrook

OCCUPIERS AT 20 GRESHAM STREET

ICBC Standard Bank
 Koch Supply & Trading
 Mobius Life Ltd
 TLT Solicitors
 TSB Bank
 Sacker & Partners LLP
 FXCM
 JB Drax Honore

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